

### 3.3 Internal fabric condition

|  | Finding                                                                                                                   | Recommendation                                                                                                                                                                                          | Photo                             |
|--|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|
|  | Mould growth noted within Grasmere bedroom, porch, 029 Laundry room, drying room and to most WCs and showers              | Clean down with anti-fungal cleaner<br>Apply stain block and decorate with anti-mould emulsion to previously mould affected areas                                                                       | 038, 061, 066, 068, 069, 076, 080 |
|  | Mould & damp affected plaster behind WC & to LHS of external doors in G27 equipment store and to front corner of porch    | Clean down with anti-fungal cleaner, apply stain block and decorate with anti-mould emulsion. Source of damp to be remediated through external render repairs                                           | 039, 040, 071, 072                |
|  | High damp meter readings to ceiling at underside of stairs adjacent to G14, no source of damp was confirmed on site       | Further intrusive inspection required to locate source of damp<br>Scrape away peeling finishes, prime, prepare and decorate, <i>Approx 1m<sup>2</sup></i>                                               | 058, 059                          |
|  | Active water ingress within orangery - no access to roof to source cause of water ingress                                 | Rofer to remediate source of water ingress to single storey section<br>Remove damaged plaster ceiling and board out with insulated plasterboard, skim finish & decorate, <i>approx. 15m<sup>2</sup></i> | 043, 044                          |
|  | Damage to plaster finished ceiling within WC of Kentmere bedroom FF                                                       | Repair with browning plaster and skim, feather into existing finish.                                                                                                                                    | 081                               |
|  | Defective silicone between tiles within G27 equipment store, behind sink of female changing area and to most shower units | Rake out and fill with sanitary silicone                                                                                                                                                                | 062, 064, 070                     |
|  | Missing mastic from corner joint of safety floor covering within female changing area                                     | Rake out any further loose mastic and re-seal in a colour matched mastic                                                                                                                                | 065                               |
|  | Defective silicone seal to windowsill within lounge                                                                       | Rake out and fill with window sealant                                                                                                                                                                   | 055                               |
|  | Crack to upper window reveal within orangery                                                                              | Widen, fill with suitable filler and decorate. Monitor going forward for opening up suggesting signs of movement                                                                                        | 045                               |
|  | Vertical crack to RHS of main entrance within porch                                                                       |                                                                                                                                                                                                         | 042                               |

|  |                                                                                            |                                                                                       |                         |
|--|--------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------|
|  | Hairline crack mirrored on RHS and LHS of plaster coving to porch                          | Widen, fill with suitable filler and decorate.                                        | 036, 037                |
|  | Plaster to majority of walls and ceilings throughout has lost its key                      | Hack off plaster, prepare and re-plaster                                              | 047, 048, 051, 052, 063 |
|  | Several instances of non-structural cracking to ceilings and walls throughout              | Rake out hairline cracks to widen, fill with appropriate filler, prepare and decorate | 046, 049, 054, 056, 057 |
|  | Hairline cracking to concrete floor within 029 Laundry Room                                | Concrete repairs required to approx. 1m <sup>2</sup>                                  | 075                     |
|  | Crazing to plaster of fireplace fire box within lounge                                     | Hack off plaster, prepare and re-plaster                                              | 053                     |
|  | Split vinyl below handwash basin within F15 WC FF                                          | Replace vinyl floor covering, approx. 9m <sup>2</sup>                                 | 078                     |
|  | 2Nr missing sections of PVC flexible skirting within conservatory, approx. 1m length total | Supply and fit to match existing                                                      | 074                     |

### 3.4 External areas, outbuildings and boundaries condition

|  | Finding                                                                                       | Recommendation                                                  | Photo |
|--|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------|-------|
|  | Several instances of paving slabs being loose/displaced underfoot, potential trip hazard      | Take up loose pavers, prepare base and re-lay existing          | 018   |
|  | Few instances of cracking to render finished boundary wall to RHS elevation                   | Repair damaged rendering - hack off and renew to match existing | 010   |
|  | 3Nr timber posts to canopy at front elevation showing signs of rot at the base                | Remove and replace                                              | 026   |
|  | Volume loss to section of timber handrail due to rot at rear elevation                        |                                                                 | 015   |
|  | Stone steps appear to be out of plumb and leaning away from the building adjacent to orangery | Take up existing, prepare base, lay new stone                   | 012   |
|  | Volume loss to few iron rail spindles adjacent to dining hall                                 | Remove and replace                                              | 011   |
|  | Missing coping stone to boundary wall to RHS elevation                                        | Supply and install stone to match existing                      | 009   |

### 3.5 Service installations condition

|  | Finding                                                                                                                                                                                                   | Recommendation                                                                                                                                        | Photo                                                                                 |
|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
|  | Mould growth indicative of condensation where aged extract fans are present.                                                                                                                              | Testing required to all extract fans with anemometer to ensure correct extract rate. Replace where underperforming                                    |    |
|  | Emergency lighting to ceilings throughout had no LED indicator light present                                                                                                                              | Refer to manufacturer's instructions, where LED indicators should be green and present, enlist an electrician to remediate and leave in working order | 050                                                                                   |
|  | Documents of an electrical test were not available for our viewing                                                                                                                                        | Arrange a five year electrical test and inspection and carry out repairs as would be highlighted by such test.                                        |    |
|  | No fire alarm, emergency lighting or fire roller shutter test certificates were available for our viewing. The LED indicators were not present to emergency lights.                                       | Annually test the fire alarm system & emergency lighting.                                                                                             |    |
|  | Guarantees or service books were not available for our viewing, although the site contact reported the boiler had been recently serviced. Stickers on the 2Nr DB boards suggested a test is overdue.      | Testing and servicing to be carried out for the boiler and gas appliances.                                                                            | 077, 079                                                                              |
|  | The water supply is not mains fed. Site contact reported partial replacement of corroded pipework for PVC. Leaks from corroded pipework is causing frequent pressure drops and concern over water supply. | Further inspection is required to source areas of leaks and when determined, undertake replacement of corroded pipework and replace with PVC.         |  |
|  | The GF male and female shower blocks are aged, showing signs of mould growth and minor damage to shower units                                                                                             | A refurbishment would be beneficial                                                                                                                   | 062, 066                                                                              |

## 4 Other matters

This section of the report considers other factors that may affect the ownership and occupation of the property. Refer to the Executive Summary for commentary on the colour coding.

The comments are based upon general observations and are not intended to be exhaustive. Full audits or risk assessments are beyond the scope of this Report. Specialist consideration of environmental matters is excluded from this instruction scope.

### 4.1 Environmental matters

|  | Matter                                             | Comment and recommendations                                          |
|--|----------------------------------------------------|----------------------------------------------------------------------|
|  | We have not examined for the presence of radon gas | The Government offers a radon testing scheme which could be utilised |

### 4.2 Energy matters

|  | Matter                                                         | Comment and recommendations                                                                                                                         |
|--|----------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
|  | There are currently no provisions for water conservation       | Consider the installation of water conservation technology to promote energy efficiency such as rainwater harvesting systems and waterless urinals. |
|  | There are currently no provisions for green technology on site | Consider the installation of green technology to reduce carbon footprint such as solar panels, solar water heating, or wind turbine                 |
|  | There are fluorescent bulbs still in use on this site          | Consider a lighting upgrade to LED bulbs                                                                                                            |

### 4.3 Health and safety matters

|  | Matter      | Comment and recommendation                                                                                                                             |
|--|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | Fire Safety | We did not view a fire safety file on site. Ensure that regular fire safety assessments are scheduled, and appropriate action is taken where required. |

#### 4.4 Accessibility matters

|  | Item           | Comment and recommendation      |
|--|----------------|---------------------------------|
|  | Accessible WCs | There are compliant WCs on site |

#### 4.5 Documentation

|  | Matter                                                                                                              | Comment and recommendation                                                                                                                          |
|--|---------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
|  | No service records, installation records, or fire safety files were available for our inspection during the survey. | Testing of all services by a competent person. Make reasonable endeavours to locate any missing documentation and undertake a Fire Risk Assessment. |

#### 4.6 Deleterious or hazardous materials

|  | Matter | Comment and recommendation |
|--|--------|----------------------------|
|  | None   | N/A                        |

## 5 Other matters

### 5.1 Technical matters

|  | Issue                                   | Recommendation                                                                                                      |
|--|-----------------------------------------|---------------------------------------------------------------------------------------------------------------------|
|  | Installation/Servicing and test records | Make enquiries and check for any installation, servicing or test records for the boiler or electrical installations |

### 5.2 Legal matters

We recommend that the following points are referred to your legal team:

|  | Issue                                                                   | Recommendation                              |
|--|-------------------------------------------------------------------------|---------------------------------------------|
|  | Any other legal documentation relating to building, site, or occupancy. | None were available to us during our survey |

## 6 Estimated budget costs

The estimated costs stated below relate to recommended work to put and keep the building in good repair and to a compliant standard. Note: there will be significant costs after the stated 10-year period and the Planned Maintenance Programme should be regularly updated.

The costs are basic estimates only at this stage and will be firmed up upon scoping, specification and tendering. Quoted costs are for guidance purposes only and should be subject to confirmation following a full procurement tender exercise including any additional investigations as recommended within this report. All costs exclude VAT, inflation, financing costs, professional fees, asbestos remediation costs, statutory fees and business interruption costs.

In the case of specialist strip out and asbestos removal costs only provisional sums can currently be given. It is recommended that specialist contractor quotes are obtained if required at this stage.

The time periods immediate, short term, medium term and long term mean the following:

- Immediate: within one year.
- Short Term: within years two or three.
- Medium Term: within years four to six.
- Long Term: within years seven to ten.

### QUALIFICATIONS

- 1 The figures include reasonable allowances for preliminaries, main contractor's overhead costs and profit.
- 2 The figures are based on approximate quantities without the benefit of tendering. No site measurement has been undertaken.
- 3 The table does not constitute a planned maintenance programme and routine maintenance, cleaning and servicing costs are excluded.
- 4 Capital works such as refurbishment and any tenant responsibilities are excluded unless otherwise stated.
- 5 The figures exclude such incidentals as funding costs.
- 6 The figures allow for like-for-like replacement where reasonably possible or for a similar alternative.
- 7 The service engineer's figures have been incorporated where applicable.
- 8 Note the comments above in the Services section regarding the need for detailed investigations to be able to estimate the cost of the item.
- 9 Due to significant pricing fluctuations in the current market for materials and labour, all costs should be treated as indicative and for guidance purposes only until such time as these are verified by receipt of competitive tenders.

| High Bursar Activity Centre - Condition Survey Budget Costs |            |                                                                                                                                      |                                                                                                                                            |           |            |             |            |           |
|-------------------------------------------------------------|------------|--------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|-----------|------------|-------------|------------|-----------|
| Item                                                        | Element    | Description                                                                                                                          | Corrective Action                                                                                                                          | Cost      |            |             |            |           |
|                                                             |            |                                                                                                                                      |                                                                                                                                            | Immediate | Short Term | Medium Term | Long Term  | Total     |
| 1.0                                                         | Structural |                                                                                                                                      |                                                                                                                                            |           |            |             |            |           |
| 1.1                                                         |            | There were no structural concerns on site                                                                                            |                                                                                                                                            | £         | 0          | £           | 0          | £         |
| 2.0                                                         | External   |                                                                                                                                      |                                                                                                                                            |           |            |             |            |           |
| 2.1                                                         |            | Vegetation growth to few chimney stacks                                                                                              | Remove vegetation and take out and re-plant stacks where required                                                                          | £         | 0          | £           | 470.00     | £         |
|                                                             |            |                                                                                                                                      | Remove & re-plant render                                                                                                                   | £         | 0          | £           | 1,360.00   | £         |
| 2.2                                                         |            | 1N vertical cracks approx. 5mm wide with slight displacement of render finish to chimney at RHS main elevation                       | Hack away render finish and inspect integrity of chimney. Undertake repairs as necessary and then re-apply render finish to match existing | £         | 600.00     | £           | 0          | £         |
| 2.3                                                         |            | Several instances of paving slabs being loose/displaced underfoot, potential trip hazard                                             | Take up loose pavers, prepare base and lay existing                                                                                        | £         | 1,200.00   | £           | 0          | £         |
| 2.4                                                         |            | All remaining timber windows and door units are ageing                                                                               | Undertake a window and door replacement scheme                                                                                             | £         | 0          | £           | 17,000.00  | £         |
| 2.5                                                         |            | Section loss to decorative timber eave detail at front elevation                                                                     | Take down existing soffits and fascias, replace with new, including decoration                                                             | £         | 0          | the m 2.7   | £          | the m 2.7 |
| 2.6                                                         |            | Staining, algae and moss growth in render finish to isolated section throughout                                                      | Remove moss with soft brush, clean algae with suitable biocide and re-render to match existing                                             | £         | 0          | £           | 1,700.00   | £         |
| 2.7                                                         |            | Painted timber fascias, soffits and barge boards are in poor decorative condition throughout across all elevations                   | Take down existing soffits and fascias, replace with new, including decoration                                                             | £         | 0          | £           | 24,650.00  | £         |
| 2.8                                                         |            | 1N Displaced section of timber cladding to front elevation of G31 equipment store                                                    | Re-apply 1N existing cladding                                                                                                              | £         | 0          | £           | 100.00     | £         |
| 2.9                                                         |            | Isolated areas of render in poor condition, cracking and flaking                                                                     | Repair damaged rendering - hack off and renew to match existing                                                                            | £         | 0          | £           | 1,400.00   | £         |
| 2.10                                                        |            | Edging missing to 1N polycarbonate sheet along car park driveway                                                                     | Re-install the clear side edging                                                                                                           | £         | 0          | £           | 30.00      | £         |
| 2.11                                                        |            | Vertical crack to stone window detail to LHS of front elevation                                                                      | Fill with cement render and monitor going forward for signs of opening up suggestive of movement                                           | £         | 0          | £           | 50.00      | £         |
| 2.12                                                        |            | 1N timber posts to canopy at front elevation showing signs of rot at the base                                                        | Remove and replace                                                                                                                         | £         | 0          | £           | 300.00     | £         |
| 2.13                                                        |            | Isolated instances of ivy growth to render finish on walls at rear and left-hand side elevation and above stone lintel of F15 lounge | Specialist to remove ivy and vegetation growth in external walls                                                                           | £         | 0          | £           | 450.00     | £         |
| 2.14                                                        |            | Gate to cast iron downpipe due to corrosion at rear elevation adjacent to equipment store                                            | Remove and replace with PVCu downpipe                                                                                                      | £         | 0          | £           | 215.00     | £         |
| 2.15                                                        |            | Volume loss to section of timber handrail due to rot at rear elevation                                                               | Remove and replace                                                                                                                         | £         | 0          | £           | 100.00     | £         |
| 2.16                                                        |            | Stone work at FF level has lost waterproofing detail which is loose in places                                                        | Re-apply existing flashing, approx 17m                                                                                                     | £         | 0          | £           | 750.00     | £         |
| 2.17                                                        |            | Stone steps appear to be out of plumb and leaning away from the building adjacent to orangery                                        | Take up existing, prepare base, lay new stone                                                                                              | £         | 0          | £           | 1,500.00   | £         |
| 2.18                                                        |            | Volume loss to low iron rail spindles adjacent to orangery                                                                           | Remove and replace                                                                                                                         | £         | 0          | £           | 1,000.00   | £         |
| 2.19                                                        |            | Missing coping stone to boundary wall to RHS elevation                                                                               | Supply and install stone to match existing                                                                                                 | £         | 0          | £           | 50.00      | £         |
| 2.20                                                        |            | Few instances of cracking to render finish on boundary wall to RHS elevation                                                         | Repair damaged rendering - hack off and renew to match existing                                                                            | £         | 0          | £           | 400.00     | £         |
| 2.21                                                        |            | Moss growth to slate roof coverings, primarily to front elevation                                                                    | Remove moss, brush with soft brush and apply biocide                                                                                       | £         | 0          | £           | 1,350.00   | £         |
| 2.22                                                        |            | Several instances of vegetation growth noted to gutters, approx 50m to be cleared                                                    | Clear gutters of any vegetation and/or debris and leave clear and free flowing                                                             | £         | 0          | £           | 1,550.00   | £         |
| 2.23                                                        |            | Number of gulleys noted to be filled with fallen leaves                                                                              | Remove vegetation and install leaf guard to all gulleys                                                                                    | £         | 0          | £           | 240.00     | £         |
| 2.24                                                        |            | Isolated instances of missing, missing or cracked slate roof tiles to main elevations                                                | Remove broken and slipped tiles and replace to match existing                                                                              | £         | 0          | £           | 10,640.00  | £         |
| 3.0                                                         | Internal   |                                                                                                                                      |                                                                                                                                            |           |            |             |            |           |
| 3.1                                                         |            | Plaster to most walls and ceilings throughout has lost its key                                                                       | Hack off plaster, prepare and re-plaster                                                                                                   | £         | 0          | £           | 150,000.00 | £         |
| 3.2                                                         |            | Damage to plaster finished ceiling within WC of Kontinere bedroom FF                                                                 | Repair with brownish plaster and skim, feather into existing finish                                                                        | £         | 0          | £           | 60.00      | £         |

|                  |                                                                                                                                                                                                            |                                                                                                                                                                                  |   |          |   |                                     |   |            |   |          |   |                                     |
|------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|----------|---|-------------------------------------|---|------------|---|----------|---|-------------------------------------|
| 3.3              | Several instances of non-structural cracking to ceilings and walls throughout                                                                                                                              | Take out hairline cracks to widen, fill with appropriate filler, prepare and decorate                                                                                            | £ | -        | £ | -                                   | £ | 475.00     | £ | -        | £ | 475.00                              |
| 3.4              | hairline cracking to concrete floor within Q27 laundry room                                                                                                                                                | concrete repairs required to approx 1m2                                                                                                                                          | £ | -        | £ | -                                   | £ | 50.00      | £ | -        | £ | 50.00                               |
| 3.5              | Cracking to plaster of fireplace fire box within lounge                                                                                                                                                    | Knock off plaster, prepare and re-plaster                                                                                                                                        | £ | -        | £ | -                                   | £ | 80.00      | £ | -        | £ | 80.00                               |
| 3.6              | Split vinyl below handwash basin within F15 WC                                                                                                                                                             | replace vinyl floor covering, approx 5m2                                                                                                                                         | £ | -        | £ | -                                   | £ | 530.00     | £ | -        | £ | 530.00                              |
| 3.7              | Defective silicone between floor within Q27 equipment store, behind line of female changing area and to mould shower units                                                                                 | Take out and fill with sanitary silicone                                                                                                                                         | £ | -        | £ | 45.00                               | £ | -          | £ | -        | £ | 45.00                               |
| 3.8              | Mould growth noted within Grassmere bedrooms, porch, Q27 laundry room, drying room and in most WCs and showers                                                                                             | clean down with anti-fungal cleaner<br>Apply stain block and decorate with anti-mould emulsion to previously mould affected areas                                                | £ | 560.00   | £ | -                                   | £ | -          | £ | -        | £ | 560.00                              |
| 3.9              | Mould & damp affected plaster behind WC & to LHS of external doors in Q27 equipment store and to front corner of porch                                                                                     | clean down with anti-fungal cleaner, apply stain block and decorate with anti-mould emulsion. Source of damp to be remediated through external render repairs                    | £ | 425.00   | £ | -                                   | £ | -          | £ | -        | £ | 425.00                              |
| 3.10             | Missing mosaic from corner joint of safety floor lowering within female changing area                                                                                                                      | Take out any further loose mosaic and re-seal in a colour matched mosaic                                                                                                         | £ | -        | £ | 45.00                               | £ | -          | £ | -        | £ | 45.00                               |
| 3.11             | High damp meter readings to ceiling at underside of stairs adjacent to Q14, no source of damp was identified on site                                                                                       | Further intrusive inspection required to locate source of damp<br>scrape away peeling finishes, prime, prepare and decorate. Approx 1m2                                          | £ | 250.00   | £ | -                                   | £ | -          | £ | -        | £ | 250.00                              |
| 3.12             | Defective silicone seal to window sill within lounge                                                                                                                                                       | Take out and fill with window sealant                                                                                                                                            | £ | -        | £ | 45.00                               | £ | -          | £ | -        | £ | 45.00                               |
| 3.13             | 2m missing sections of PVC flexible skirting within conservatory, approx 1m length total                                                                                                                   | Supply and fit to match existing                                                                                                                                                 | £ | -        | £ | -                                   | £ | 70.00      | £ | -        | £ | 70.00                               |
| 3.14             | Crack to upper window reveal within porchery                                                                                                                                                               | Widen, fill with suitable filler and decorate. Monitor going forward for opening up suggesting signs of movement                                                                 | £ | -        | £ | 225.00                              | £ | -          | £ | -        | £ | 225.00                              |
| 3.15             | Active water ingress within porchery - no access to roof to source site of water ingress                                                                                                                   | Refer to remediate source of water ingress in one storey section<br>Remove damaged plaster ceiling and board out with matched plasterboard, skim finish & decorate (approx 15m2) | £ | 300.00   | £ | -                                   | £ | -          | £ | -        | £ | 300.00                              |
| 3.16             | Vertical crack to RHS of main entrance within porch                                                                                                                                                        | Widen, fill with suitable filler and decorate. Monitor going forward for opening up suggesting signs of movement                                                                 | £ | -        | £ | inc in 3.14                         | £ | -          | £ | -        | £ | inc in 3.14                         |
| 3.17             | Horizontal crack mirrored on RHS and LHS of plaster above to porch                                                                                                                                         | Widen, fill with suitable filler and decorate                                                                                                                                    | £ | -        | £ | inc in 3.14                         | £ | -          | £ | -        | £ | inc in 3.14                         |
| Fabric Subtotal: |                                                                                                                                                                                                            |                                                                                                                                                                                  | £ | 3,335.00 | £ | 46,425.00                           | £ | 171,155.00 | £ | -        | £ | 220,915.00                          |
| 4.0              | Service Installations                                                                                                                                                                                      |                                                                                                                                                                                  |   |          |   |                                     |   |            |   |          |   |                                     |
| 4.1              | The water supply is not mains fed. Site contact reported partial replacement of corroded pipework for PVC. Leaks from corroded pipework is causing frequent pressure drops and sometimes over water supply | Where still required, undertake further replacement of corroded pipework and replace with PVC                                                                                    | £ | -        | £ | cost TBC post further investigation | £ | -          | £ | -        | £ | cost TBC post further investigation |
| 4.2              | Mould growth indicative of condensation where heated extract fans are present.                                                                                                                             | Testing required to all extract fans with anemometer to ensure correct extract rate. Replace where underperforming                                                               | £ | 630.00   | £ | -                                   | £ | -          | £ | -        | £ | 630.00                              |
| 4.3              | The GF male and female shower blocks are aged, showing signs of mould growth and minor damage to shower units.                                                                                             | A refurbishment would be beneficial                                                                                                                                              | £ | -        | £ | 55,000.00                           | £ | -          | £ | -        | £ | 55,000.00                           |
| 4.4              | Emergency lighting to ceilings throughout had no LED indicator light present                                                                                                                               | Refer to manufacturer's instructions, where LED indicators should be green and present. Enlist an electrician to remediate and leave in working order                            | £ | 630.00   | £ | -                                   | £ | -          | £ | -        | £ | 630.00                              |
| 4.5              | Drawdowns of an electrical test were not available for our viewing                                                                                                                                         | Arrange a five year electrical test and inspection and carry out repairs as would be highlighted by such test                                                                    | £ | 2,500.00 | £ | -                                   | £ | -          | £ | 2,750.00 | £ | 5,250.00                            |
| 4.6              | No fire alarm, emergency lighting or fire roller shutter test certificates were available for our viewing. The LED indicators were not present to emergency lights                                         | Annually test the fire alarm system & emergency lighting                                                                                                                         | £ | 150.00   | £ | 300.00                              | £ | 300.00     | £ | 300.00   | £ | 1,050.00                            |
| 4.7              | Guarantees or service books were not available for our viewing although the site contact reported the boiler had been recently serviced. Sliders on the QN DB boards suggested a test is overdue           | Testing and servicing to be carried out for the boiler and gas appliances                                                                                                        | £ | 300.00   | £ | 300.00                              | £ | 300.00     | £ | 300.00   | £ | 1,200.00                            |
| MAE Totals:      |                                                                                                                                                                                                            |                                                                                                                                                                                  | £ | 4,210.00 | £ | 600.00                              | £ | 55,600.00  | £ | 3,350.00 | £ | 63,760.00                           |
| Totals:          |                                                                                                                                                                                                            |                                                                                                                                                                                  | £ | 7,545.00 | £ | 47,025.00                           | £ | 174,505.00 | £ | 3,350.00 | £ | 224,875.00                          |

**Note:** The figures set out above are low-end estimates for the completion of the works, having regard to market conditions and the rural location of the asset.

These estimates do not include the Phase 3 roofing works, which were originally programmed for delivery within the 2026/27 capital investment plan but have subsequently been deferred to 2027/28 or later, with an anticipated cost of £400,000.

Furthermore, allowance has not yet been made for inflationary increases from the date at which the original estimates were prepared through to the point of delivery. In addition, the figures exclude associated project costs, including but not limited to professional design fees, contractor preliminaries, statutory planning and building control fees, and appropriate contingencies commensurate with undertaking works to an ageing asset.

Having regard to these factors, it is anticipated that the total cost for completion of the roofing works and all associated ancillary works is likely to be in the region of £850,000, subject to variation depending on the timing of procurement and delivery.

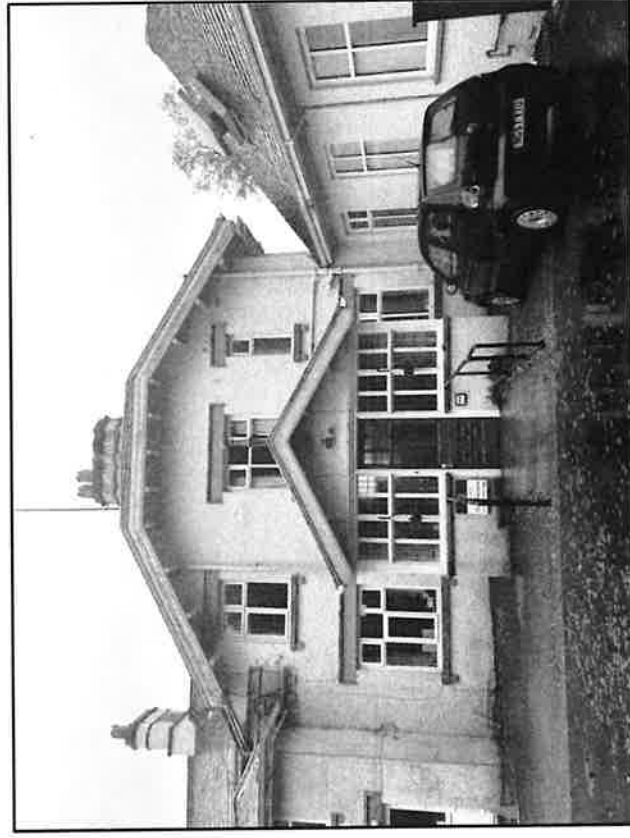
## Appendix 1

### **Photographic Schedule**



# High Borrans Activity Centre Photographic Schedule

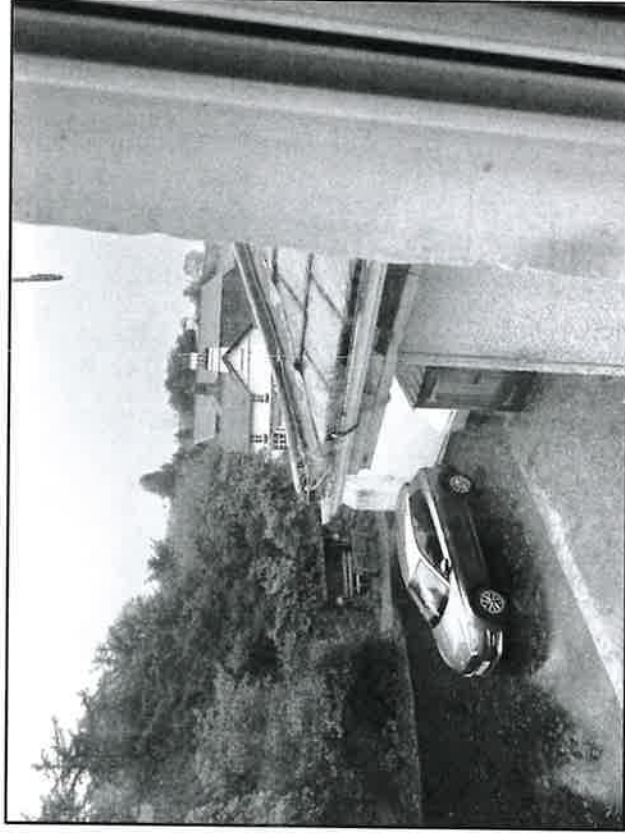
Windermere, Cumbria, LA23 1JS



001. View of front elevation



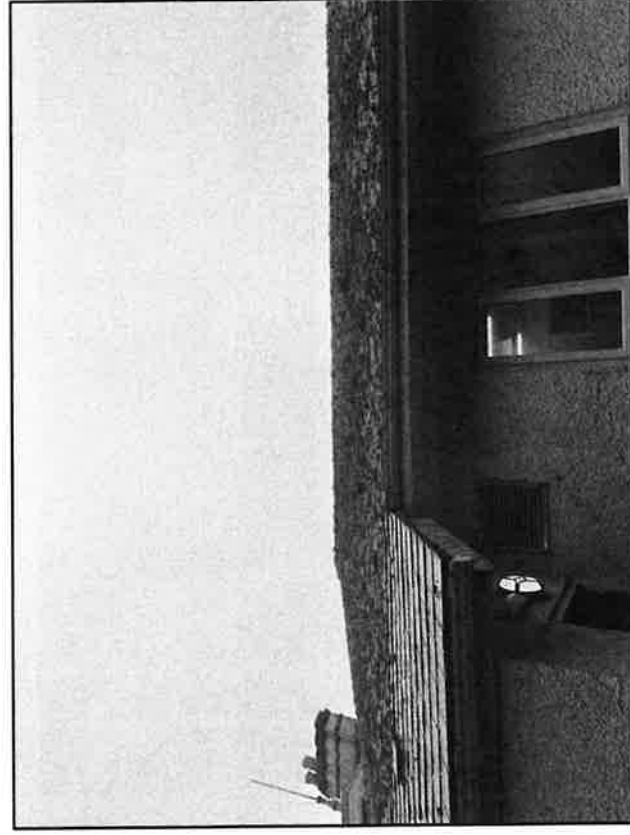
002. Example of damaged slate tiles to roof coverings



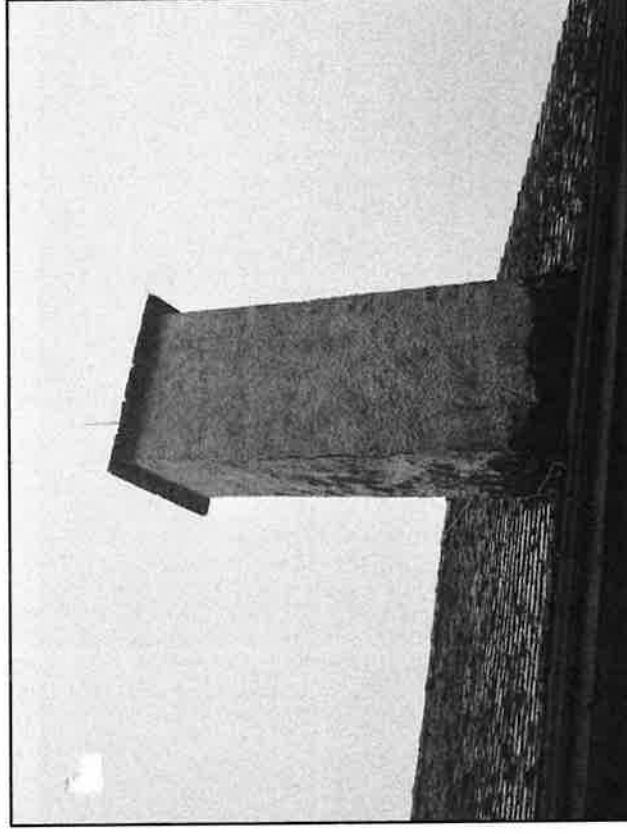
003. Example of vegetation to gutters



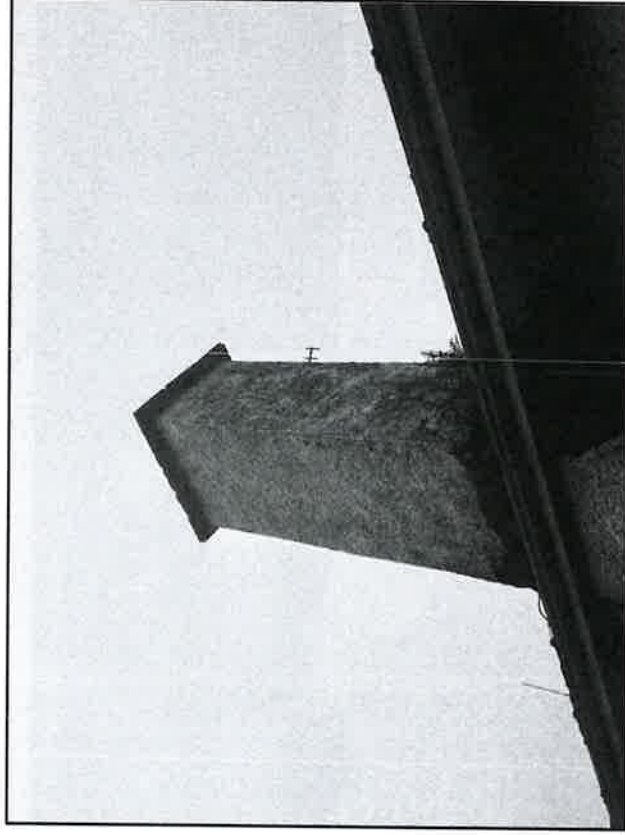
004. Example of gutleys filled with fallen leaves



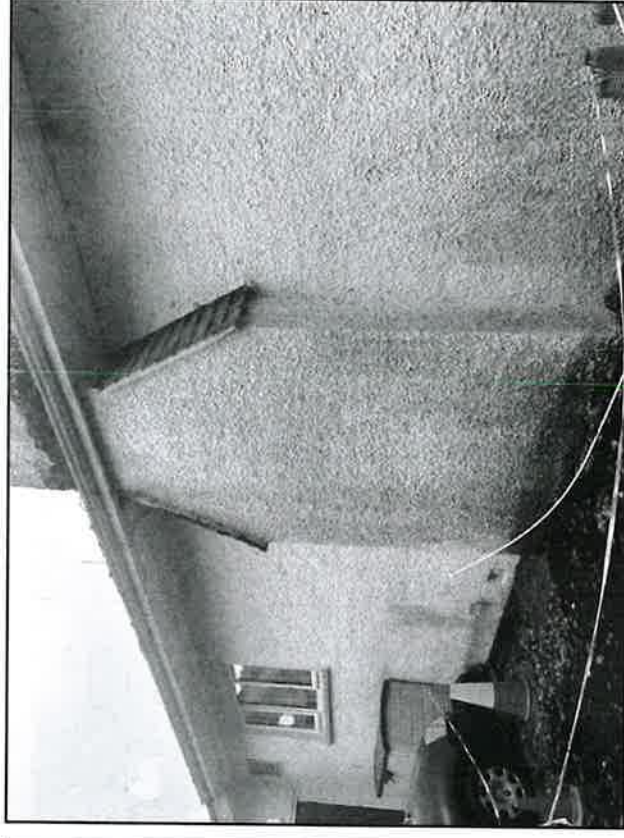
005. Example of moss growth to slate roof covering



006. Crack to render finished chimney above dining room



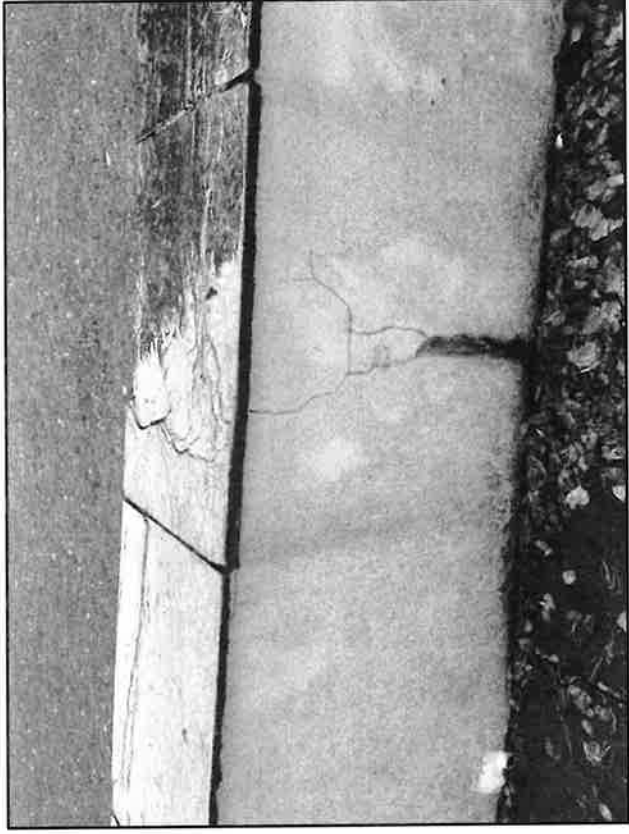
007. Crack to render finished chimney above dining room and vegetation growth at base of stack



008. Example of algae growth to render finish



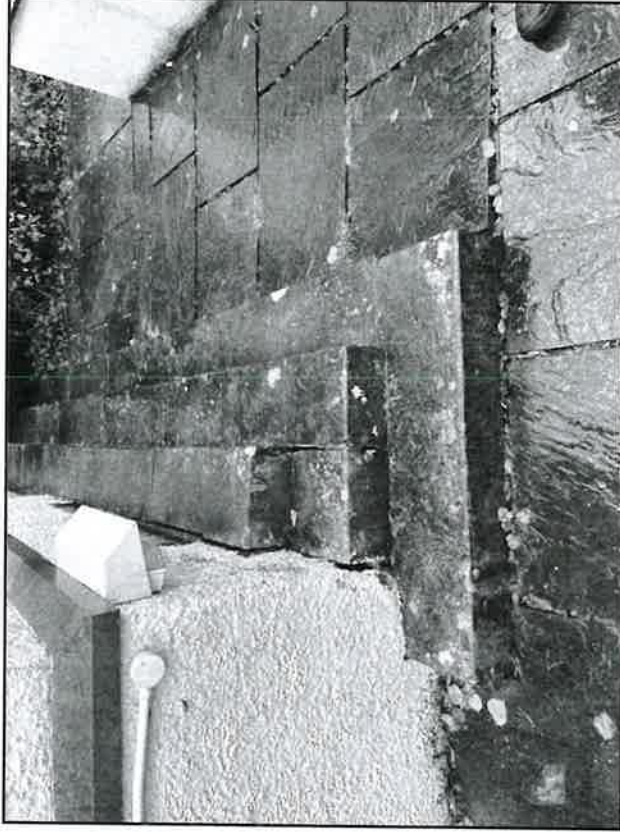
009. Example of missing coping stone to boundary wall



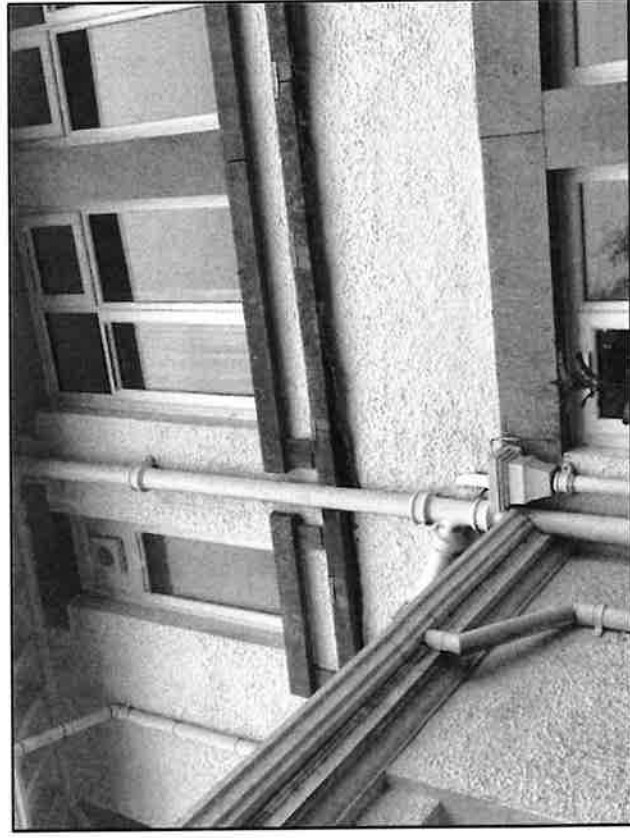
010. Example of cracking render finish to boundary wall



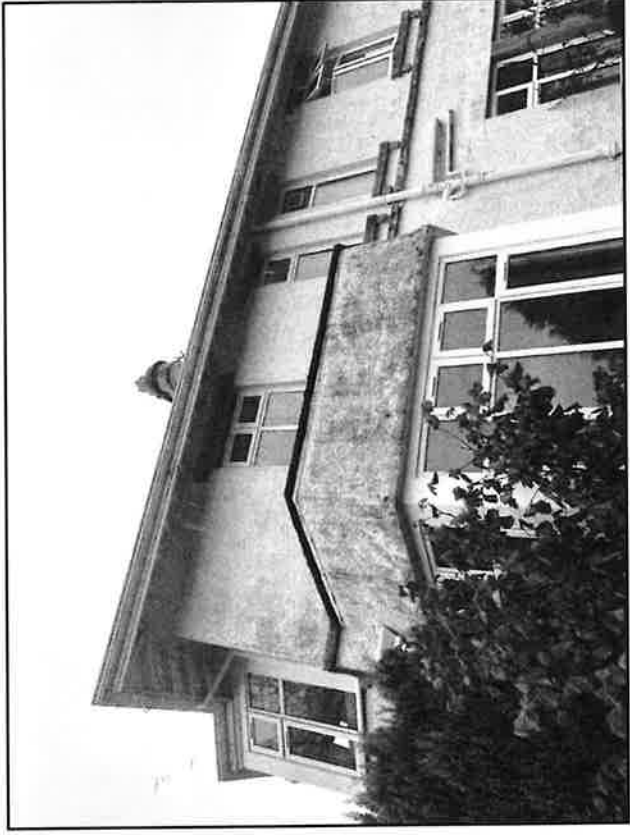
011. Volume loss to few iron fence spindles to dining hall



012. Stone steps appear to be out of plumb and leaning away from the building adjacent to orangery



013. Lead waterproofing detail to stonework is loose



014. Staining and moss growth to render above lounge bay window



015. Volume loss of timber handrail due to rot at rear elevation



016. Example of flaking paint finish to render at rear elevation



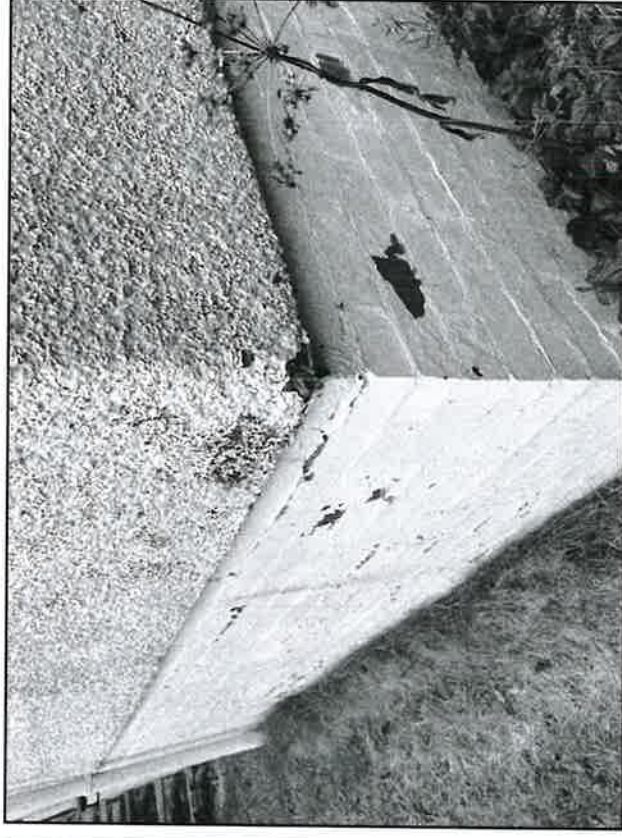
017. Painted timber fascia at rear elevation in poor condition



018. Example of paving slabs lifting / loose underfoot



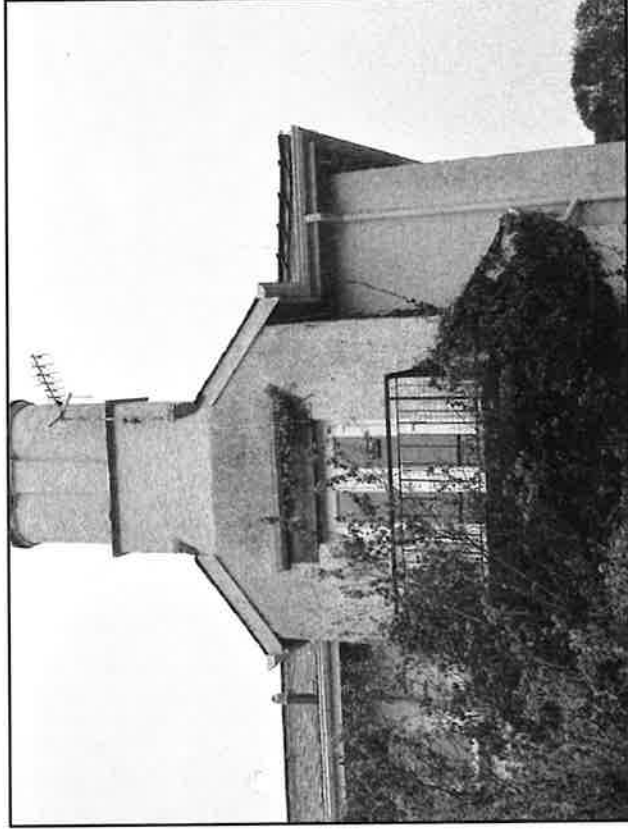
019. Crack to render at rear elevation of one storey bedroom section



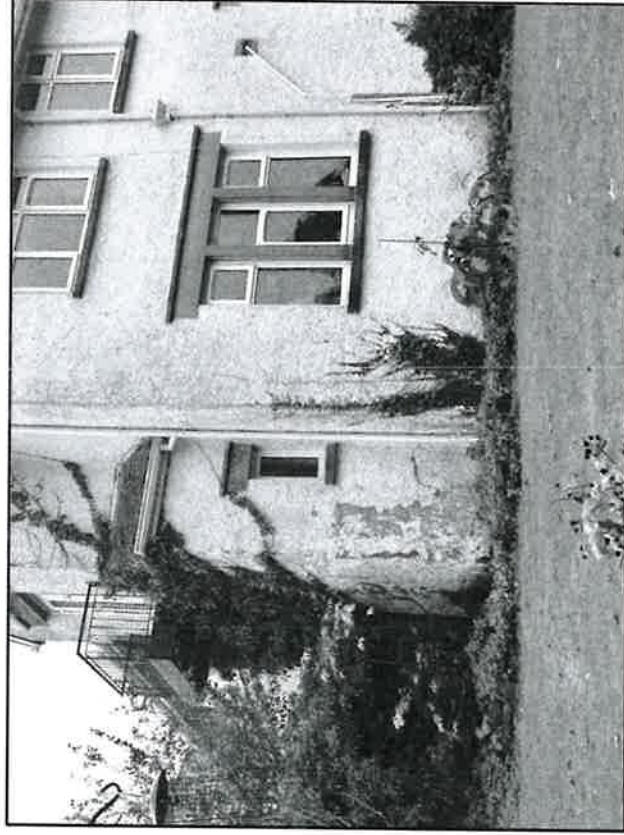
020. Damage to corner of render at rear elevation of one storey bedroom section



021. Hole due to corrosion to cast iron down pipe at rear elevation adjacent to equipment store



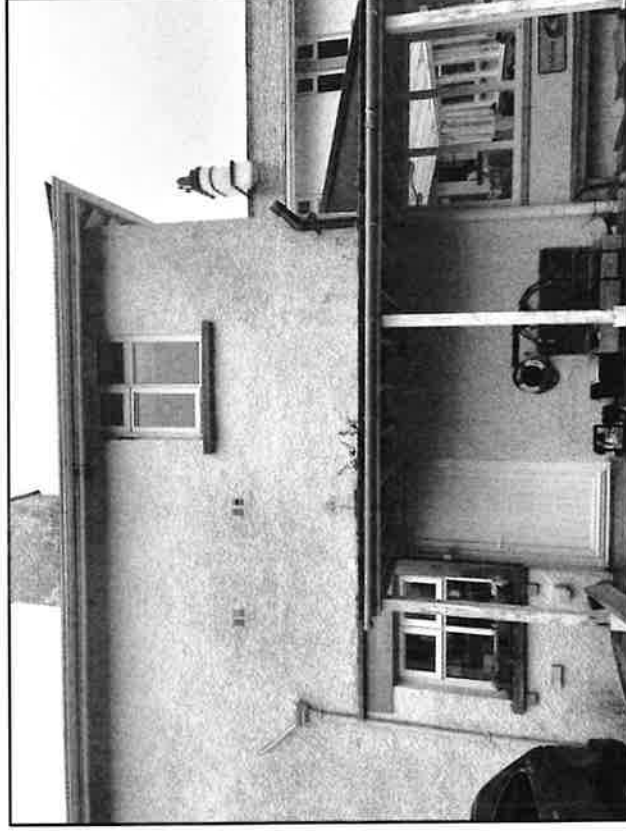
022. Vegetation growth above stone lintel of F18 lounge



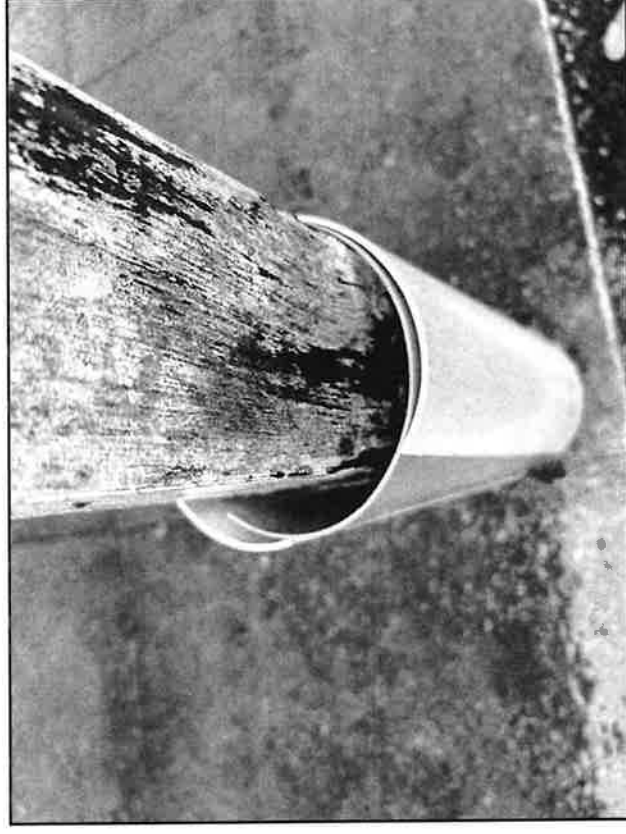
023. Ivy growth to render finished walls at rear and left hand side elevation



024. View of septic tank



025. Vegetation growth to timber canopy at LHS of front elevation



026. Timber posts to canopy are showing signs of rot at the base



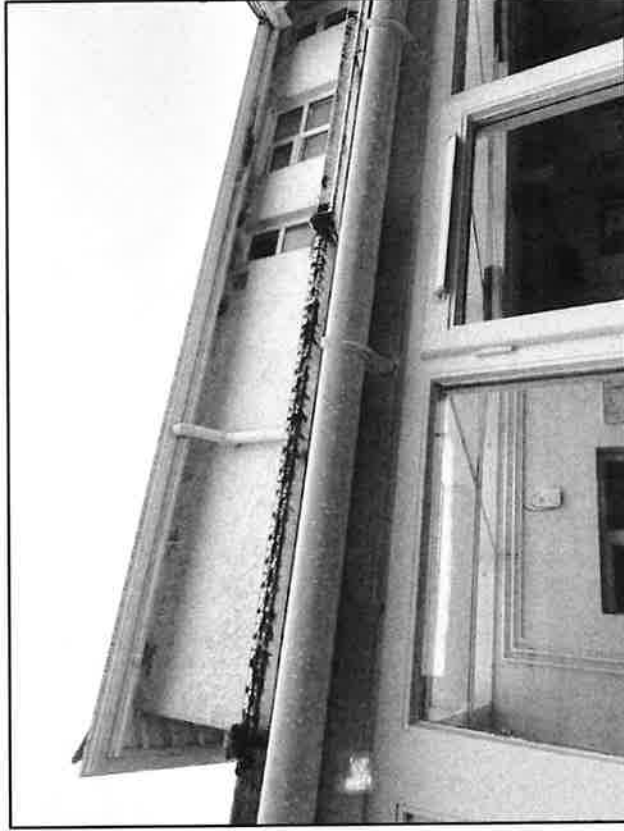
027. Area of spalled render finish at front elevation



028. Vertical crack, wider at the top, to stone window detail to LHS of front elevation



029. Volume loss of timber window unit due to rot to conservatory



030. Edging missing to polycarbonate sheeting atop conservatory



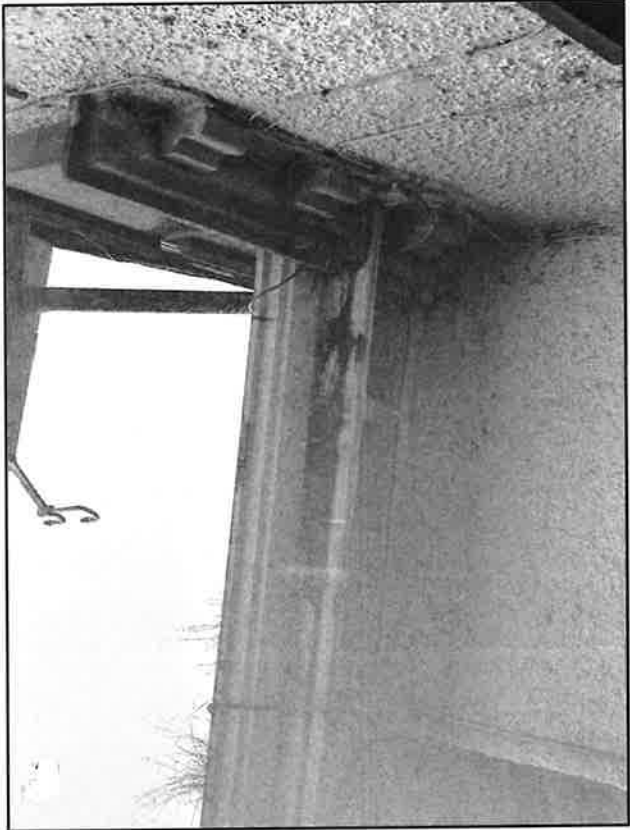
031. Crack to render and missing section of fascia to  
G29 Laundry Room



032. Displaced section of timber cladding to front  
elevation G31 Equipment store



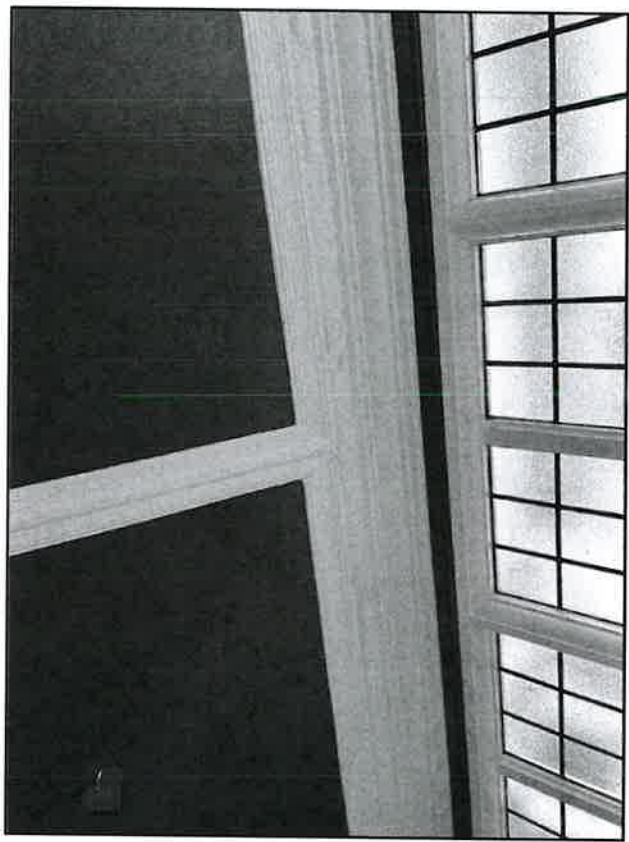
033. Further staining and moss growth to render adjacent to generator at front elevation



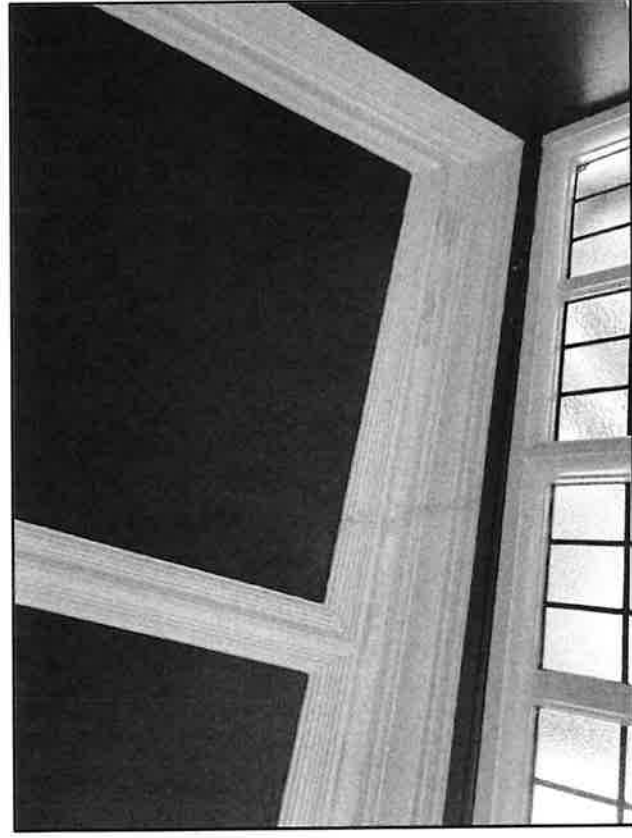
034. Example of fascias in poor condition throughout



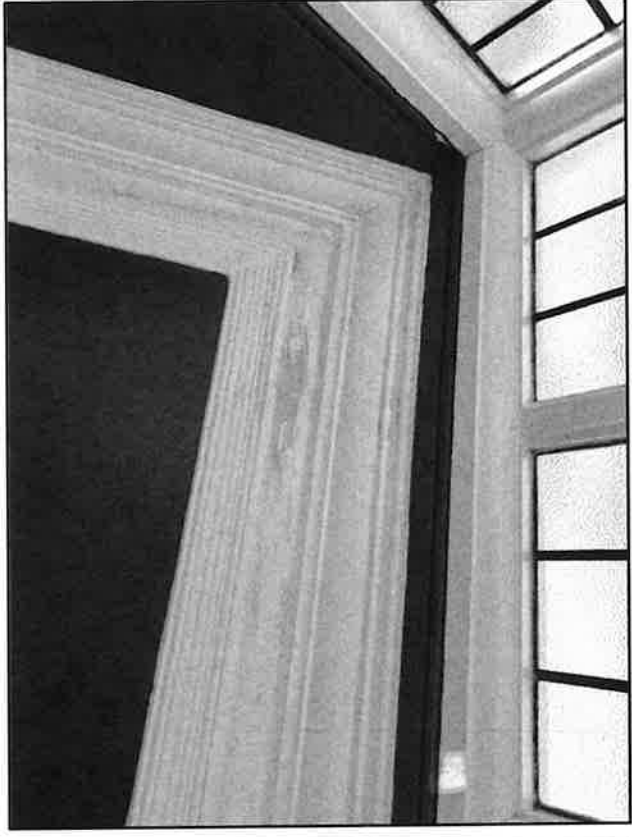
035. Section loss to decorative timber soffit detail at front elevation



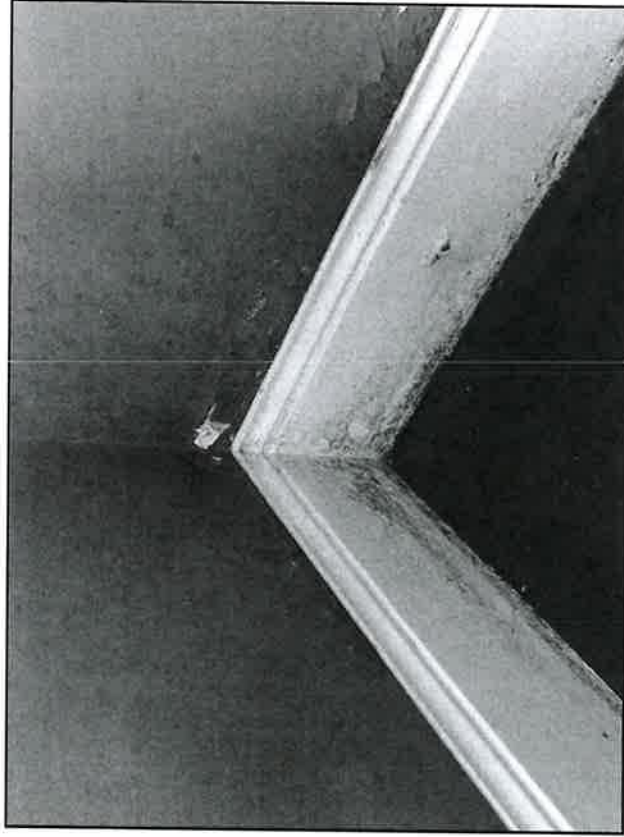
036. Hairline crack to plaster coving and ceiling at RHS of porch



037. Hairline crack to plaster coving and ceiling at LHS of porch



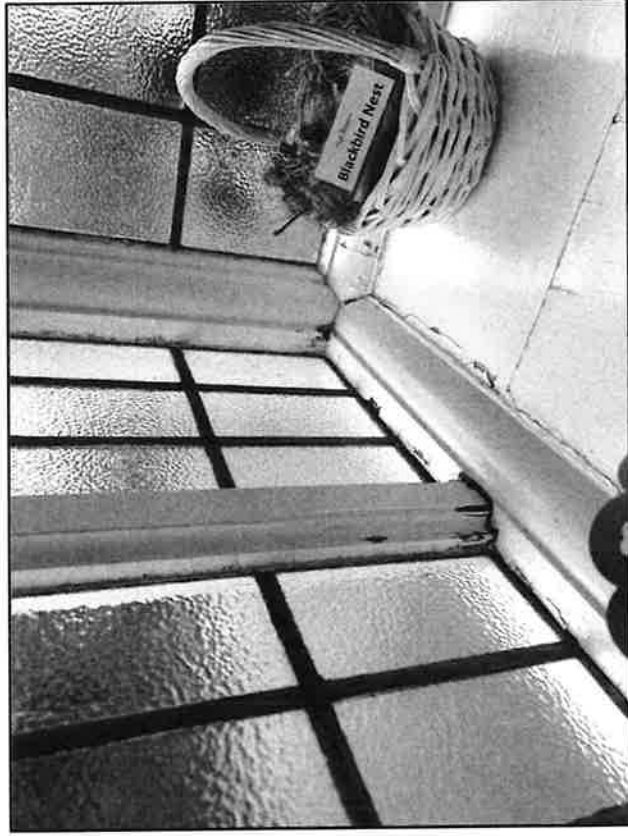
038. Mould growth within unheated porch to coving detail



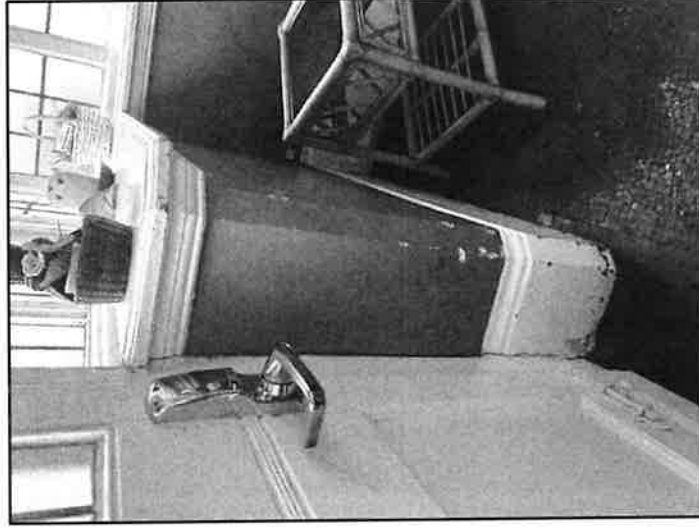
039. High damp readings recorded at front LHS of porch at low level



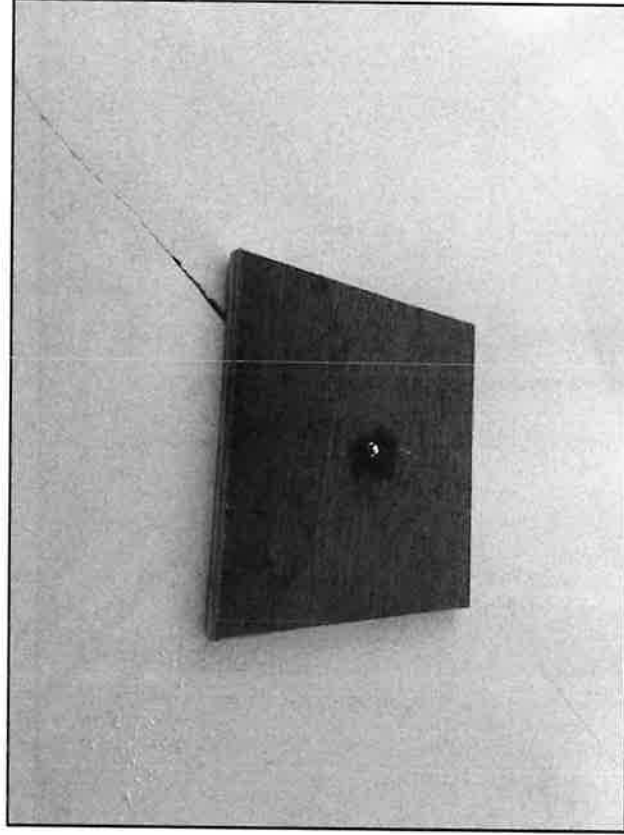
040. High damp readings recorded at front LHS of porch at low level



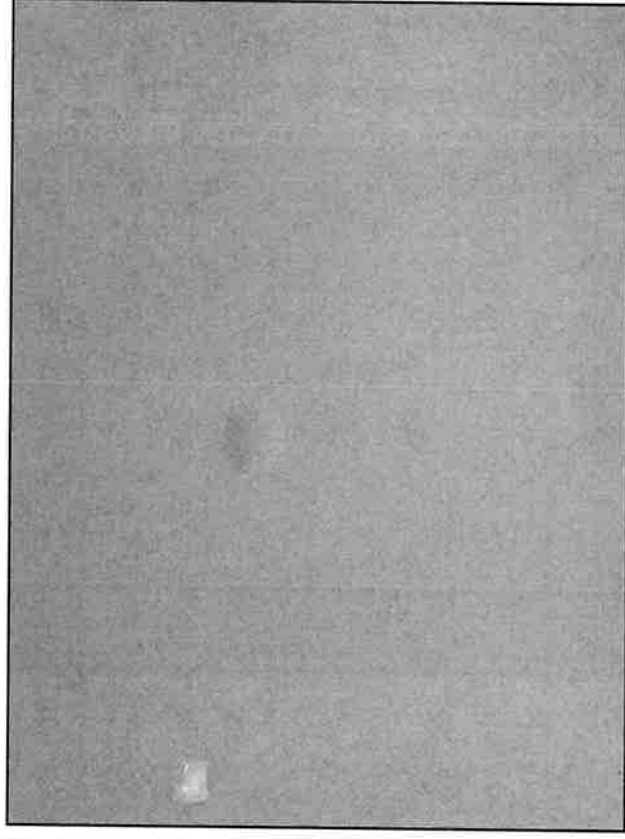
041. Signs of rot to timber window units within porch



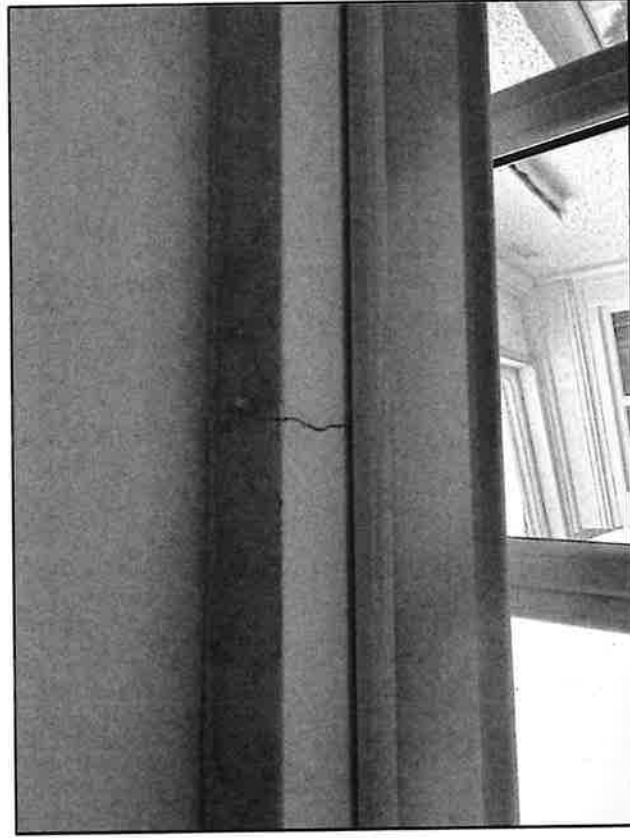
042. Vertical crack to RHS of main entrance



043. Active leak to ceiling within Orangery alongside cracking



044. Blistering to orangery ceiling due to water ingress



045. Crack to upper window reveal within orangery

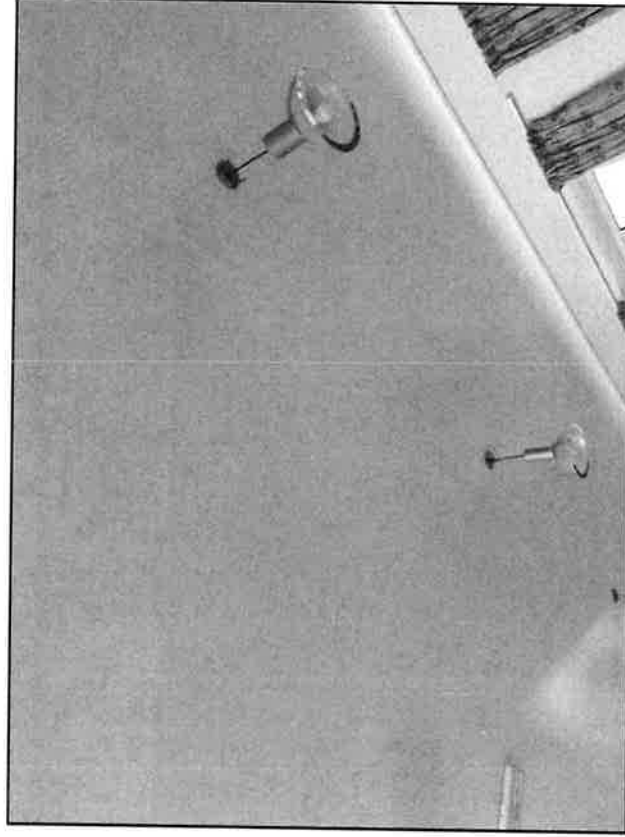


046. Example of non-structural cracking around window reveals, likely to be causing during recent window replacement scheme

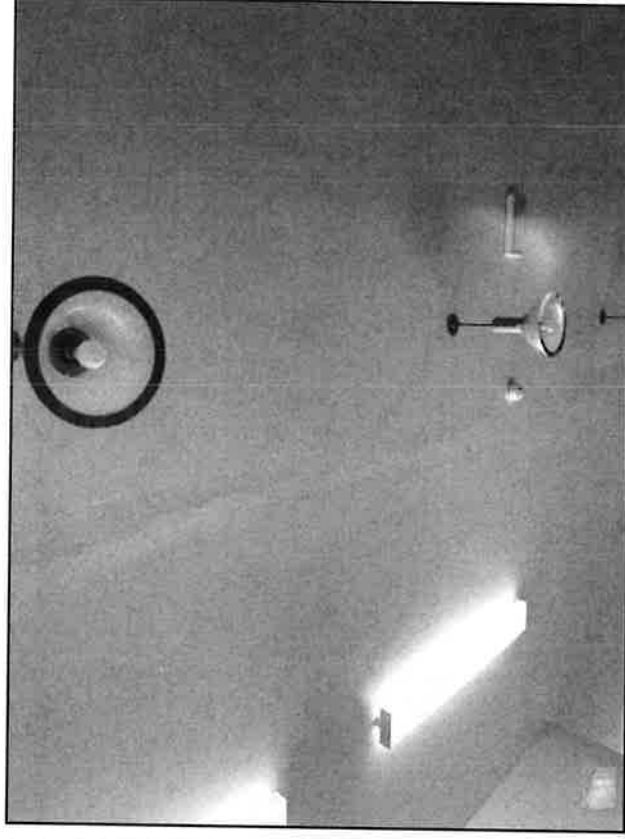


North  
Tyneside  
Council

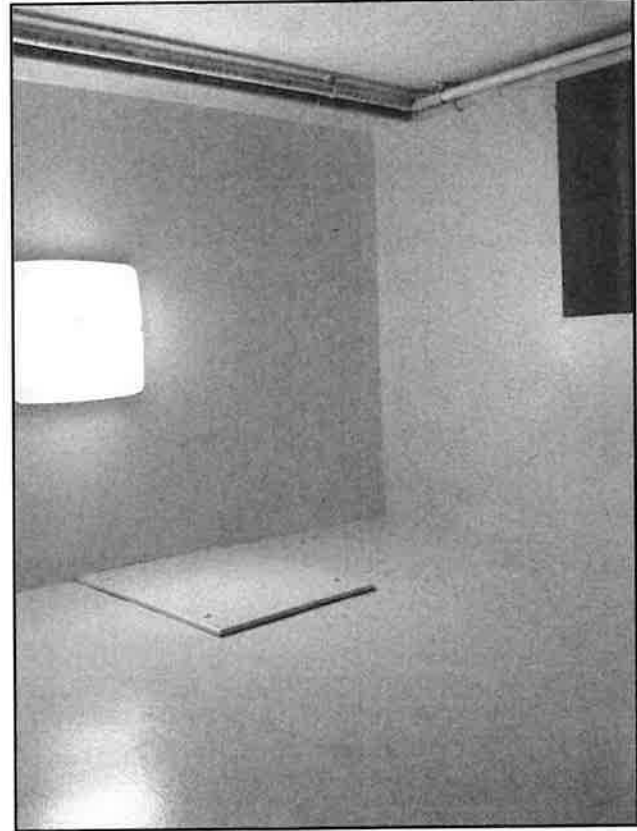
Working in partnership with  
**capita**



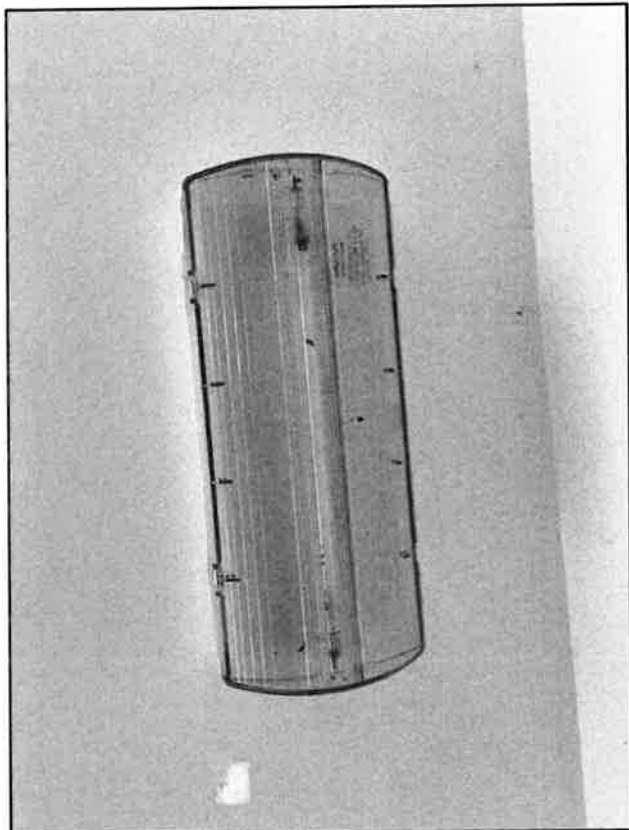
047. Ceiling within dining room in poor decorative condition, with plaster having lost its key



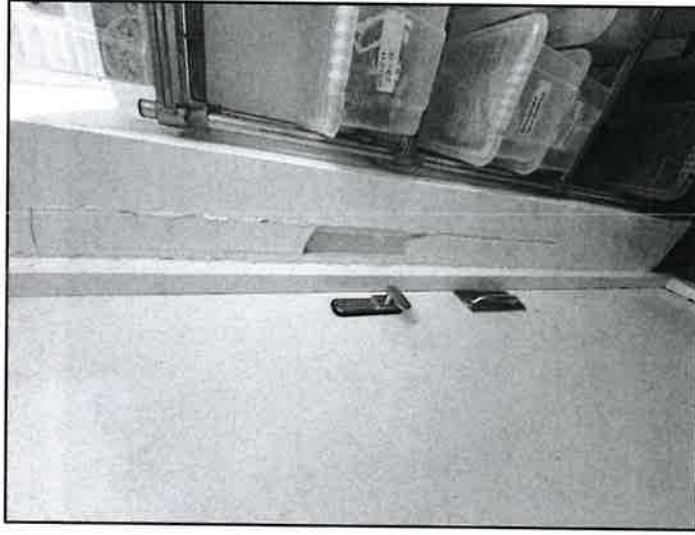
048. Ceiling within dining room in poor decorative condition, with plaster having lost its key



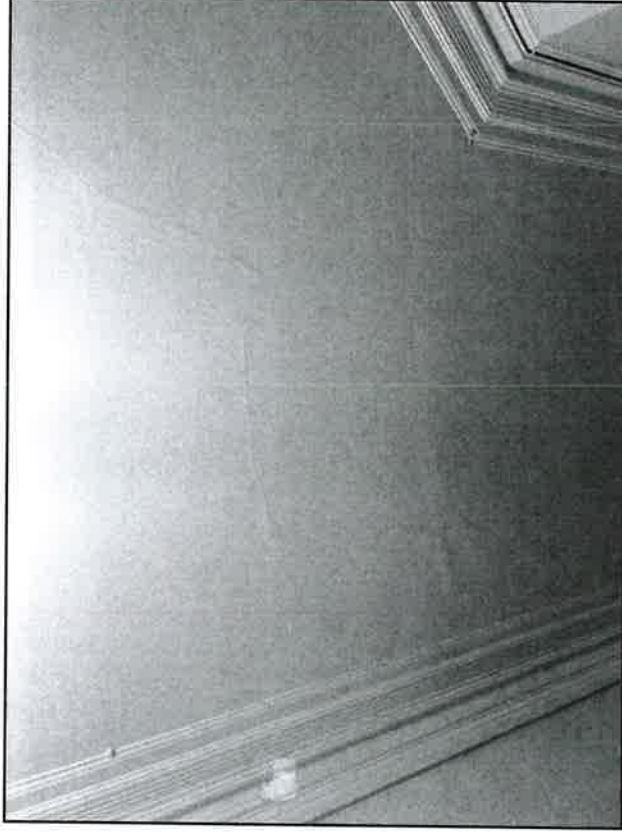
049. Hairline crack to corner of ceiling within kitchen pantry



050. No LED indicator to emergency lighting



051. Damage to plaster finished door reveals within food store



052. Decorative damage to painted plaster ceiling within corridor adjacent to main entrance